

**Legalization of Existing Accessory Dwelling Unit (ADU)**

- Provide original letter of approval from West Valley Sanitation District (408) 378-2407
  - If the owner is to act as Owner-Builder, submit Owner-Builder Form and declare that during this project, no person shall be employed that would require worker's compensation insurance.
  - CalGreen- No product shall be used that exceeds state limits on Volatile Organic Compounds
  - Each bedroom is to have (2) paths of exit, normally, a door and a window. The window is to be egress compliant: a clear opening of 5.0 sf 1st fl, 5.7 sf 2nd fl, 24" min height, 20" min width, with a clear space opening not to exceed 44" above the finish floor. [ ] Retro sill ht exemption
  - Smoke detection required in each bedroom and each floor. Combination smoke/CO devices shall be placed outside each bedroom and each floor [ ] Hardwired [ ] 10 yr Batt [ ] Insp call
  - All penetrations into fire rated floors, walls, and ceilings shall not compromise the fire rating, J-boxes to be metal, can lights to be sealed in 5/8 gypsum boxes or factory rated boxes
  - A portable fire extinguisher shall be mounted to a kitchen wall
  - Insulation shall be R-19 in floors, R-13 in walls, R-30 in ceilings, pack insulation between windows/doors and adjacent framing, seal all annular spaces between pipes and wires.
  - All new and replaced duplex receptacles shall be listed TR "Tamper-Resistant"
  - Electric panels are to be grounded and the breakers shall be labeled.
  - AFCI required in family rms, dining rms, bedrooms, rec rms, closets, and hallways.  
GFCI required in bath rms, garages, exterior, crawlspaces, basements, DW, and disposals.  
Combination AFCI/GFCI required in kitchens and laundry areas
  - All new lighting shall be high-efficacy compliant. Screw-based permanently installed light fixtures must contain screw-based JA8 lamps. JA8 compliant light sources in ceiling recessed downlights and LED's are to be controlled by vacancy sensors or dimmers. One light in the bathrom shall be controlled by an occupancy sensor. Exterior lighting shall be controlled by photocell and motion.
  - A 120V receptacle shall be placed within 3' of a water heater and 25' of an A/C condenser. Kitchen counters shall be served by two 20amp circuits, outlets shall be placed a maximum of 48" apart; so that at no point along the counter will be more than 24" away from an outlet. Islands and peninsula countertops to have at least one outlet.
  - Cooktop exhaust fans shall be ducted to the exterior in smooth wall sheetmetal.
  - Bath exhaust fans to be humidity controlled by switch or appliance and ducted to the exterior.
  - Title-24 Energy report req'd.  \_\_\_\_\_
  - Piping gas test required  Provide electric energy load calculation
  - Piping for an exterior water heater is to be insulated and wrapped with UV resistant tape.
  - Replace non-compliant plumbing fixtures with water conserving plumbing fixtures.
- | Fixture         | If the water usage exceeds | It must be replaced with |
|-----------------|----------------------------|--------------------------|
| Water Closet    | 1.6 gal/flush              | 1.28 gal/flush           |
| Shower Head     | 2.5 gal/minute             | 1.8 gal/minute           |
| Lavatory Faucet | 2.2 gal/minute             | 1.2 gal/minute           |
| Kitchen Faucet  | 2.2 gal/minute             | 1.8 gal/minute           |

**Waste Management Plan**

Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain: paints, solvents, glues, taping compound, food products, or easily recycle-able discards such as bottles, cans, plastics, or paper. Remaining trash shall be limited to concrete, wood, drywall, roofing, and metals and shall be covered with a waterproof tarp. Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site within 5 days. Retain the receipt and keep with the permit documents, proof of recycle and disposal of the job site trash will be checked periodically and prior to final inspection.

**Or call**

West Valley Collection and Recycling (408) 283-9250 who will deliver a roll-off debris box and sort the trash off site.

Zoning R-1, RE-2  
 General wood Construction V-B  
 Occupancy Type: R-3  
 Lot Elevation: 200' ft.  
 Wind design speed: 100 Exposure B  
 Topographic Effects: None  
 Seismic Design Catagory: D2  
 Soil Bearing Capacity: 1500 PSF  
 Weathering: Moderate, Snow load: 0  
 Termite: Heavy, Flood hazard: None  
 Average Winter design temperature: 40° - 59°F  
 Average Summer design Temperature: 53° - 86°F  
 Floor load 40/10 Bedroom Floor Load 30/10  
 Roof Load 20/10 (See truss calcs)  
 San Jose Water district  
 West Valley Sanitation District  
 PG&E supplied electricity  
 CRC CMC, CEC, CPC, CFC, Cal Green, Editions: 2019

**PROJECT SCOPE:**

Legalize an Existing Garage into to an Accessory Dwelling Unit

**SHEET INDEX**

- 1 Notes
- 2 Site Plan
- 3 Floor Plan
- 4 Elevations
- 5 Details

**REQ'D DOCUMENTS RECEIVED**

- T-24 ENERGY
- WEST VALLEY SANITATION
- OWNER BUILDER

**APPROVALS**

PLANNING DEPT

BUILDING DEPT

PUBLIC WORKS

SANTA CLARA CO FIRE

*The legalization of an existing ADU cannot completely guarantee code compliance. In-accessible building elements such as framing, wiring, plumbing and mechanical systems as well as product or workmanship compromises may not be visible or inspectable. It is the intent of the State of California and the City of Campbell to make this ADU's safe for the residents without destructive testing or inspection. The owner of the property takes complete responsibility for the integrity and safety of this building and the occupants within.*

To Be Signed By the Applicant/Date

\_\_\_\_\_

Building Area	Existing	Proposed	Total SF	%
1st Floor				
2nd Floor				
Garage				
Accessory Dwelling				
Covered Patio(s)				
Other (e.g. shed)				
<b>TOTAL</b>				

Setbacks	Required	Proposed
Front of ADU		
Back of ADU		
Right side of ADU		
Left side of ADU		
Distance Between ADU and House		
ADU Wall Height		

**Symbols and Abbreviations**

- (N) New (E) Existing
- ADU Accessory Dwelling Unit
- MEP Mechanical Electrical Plumbing
- DWV Drain Waste & Vent
- WVSD West Valley Sanitation District
- SCCF Santa Clara County Fire
- HVAC Heating Ventilation & Air Conditioning
- CRC California Residential Code
- CBC California Building Code
- CEC California Electric Code
- CPC California Plumbing Code
- CFC California Fire Code
- JA8 Joint Appendix 8 (Energy committee)

**CONTRACTOR:**

PHONE:

CLASS:

LIC#:

EMAIL:

**OWNER/BUILDER**

**OWNER:**

PHONE:

EMAIL:

**JOB ADDRESS:**

CAMPBELL, CA

**SCOPE OF PROJECT**

LEGALIZE AN EXISTING ADU

HOA  YES  NO

TYPE: VB OCC: R-3

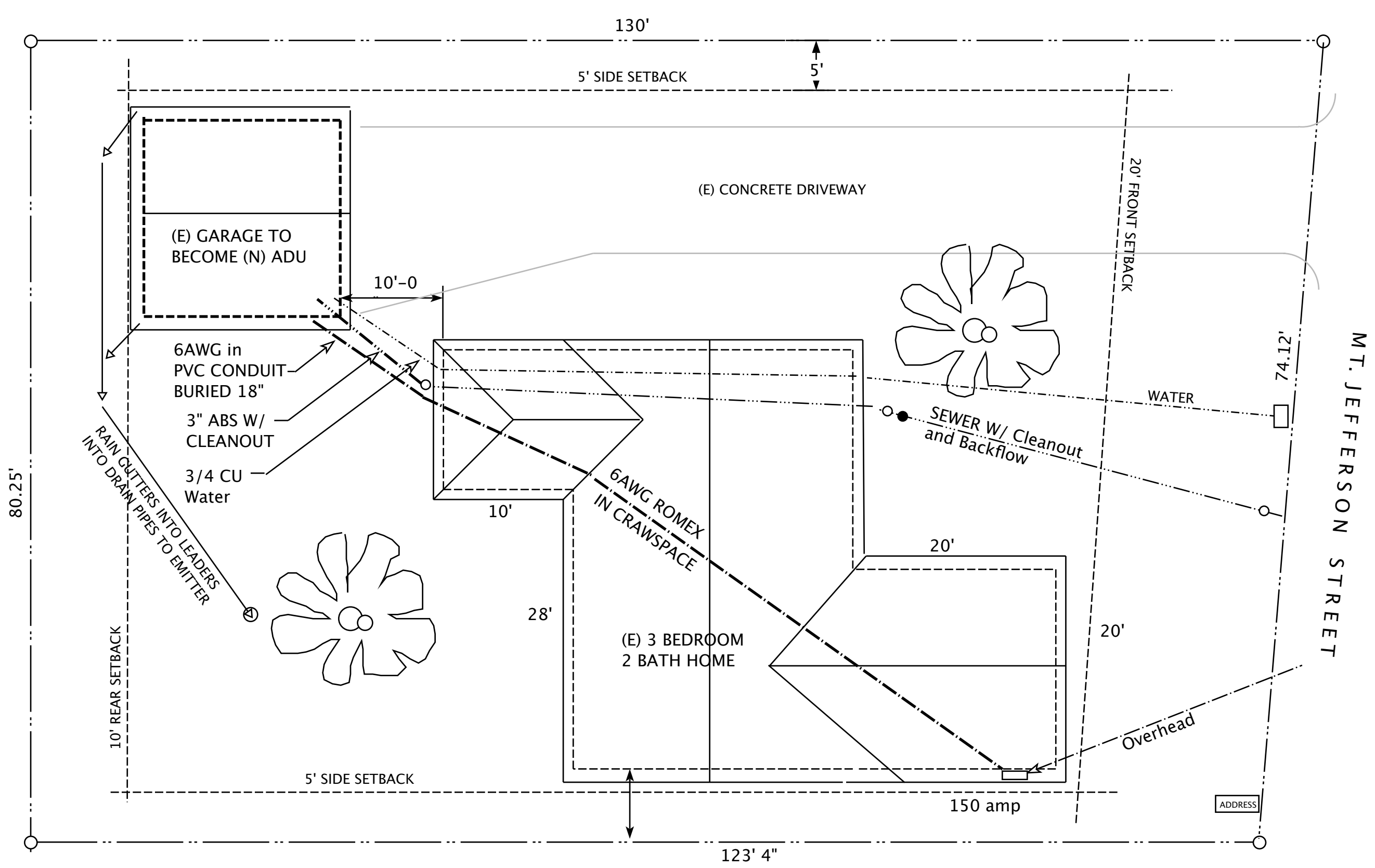
**SHEET TITLE:**

**APN:**

**DATE:**

**SCALE:**

**SHEET 1 OF 5**



1. Add gutters to garage and direct flow to center of backyard into a pop-up emitter
- 2.
- 3.
- 4.



CONTRACTOR

PHONE:

LIC #:

CLASS:

EMAIL:

OWNER/BUILDER

OWNER:

PHONE:

EMAIL:

JOB ADDRESS:

CAMPBELL, CA

TYPE: VB OCC: R-3

SHEET TITLE:

**PLOT PLAN**

APN:

302 44 097

DATE:

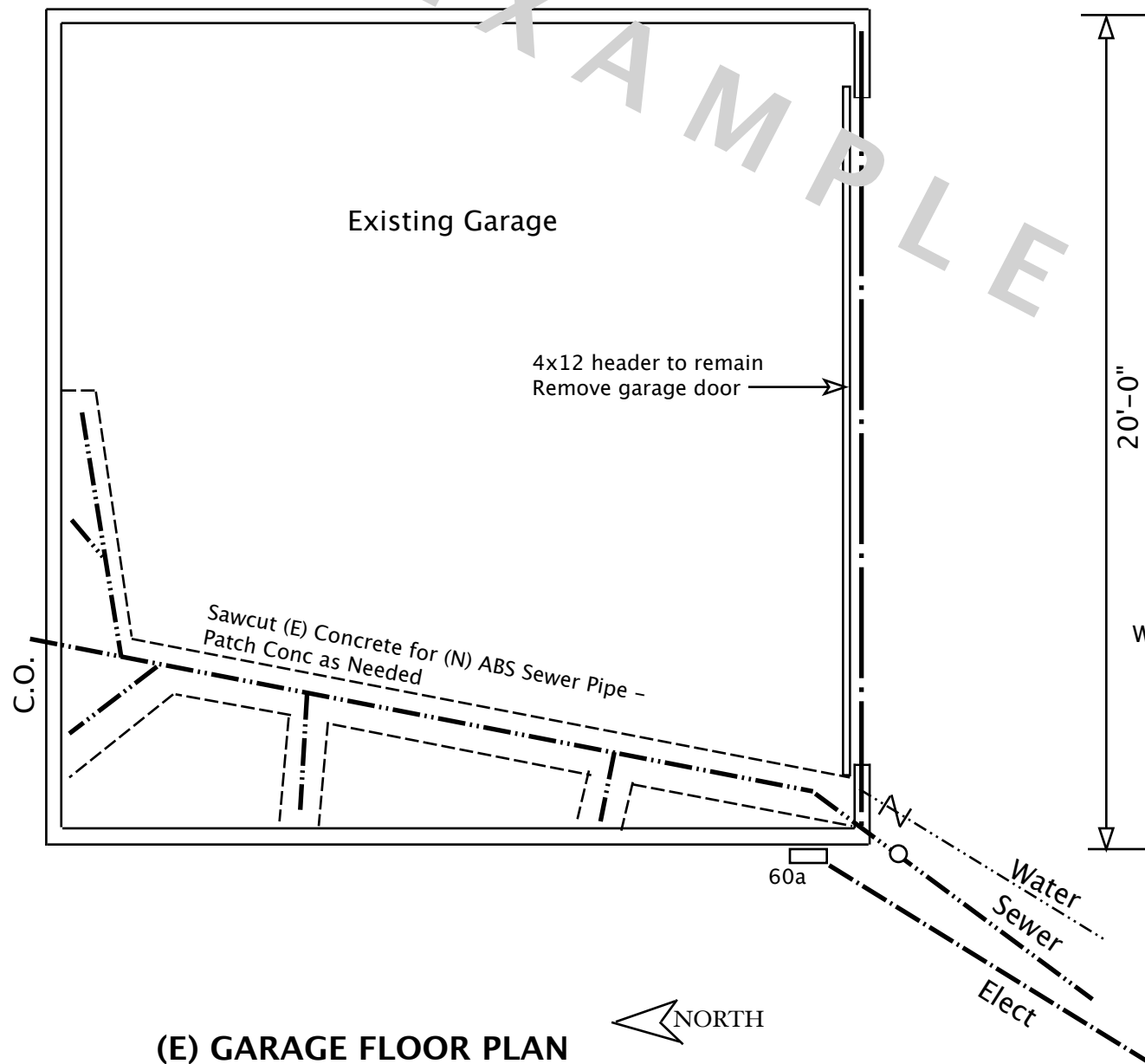
JAN 2020

SCALE:

1" = 10' - 0"

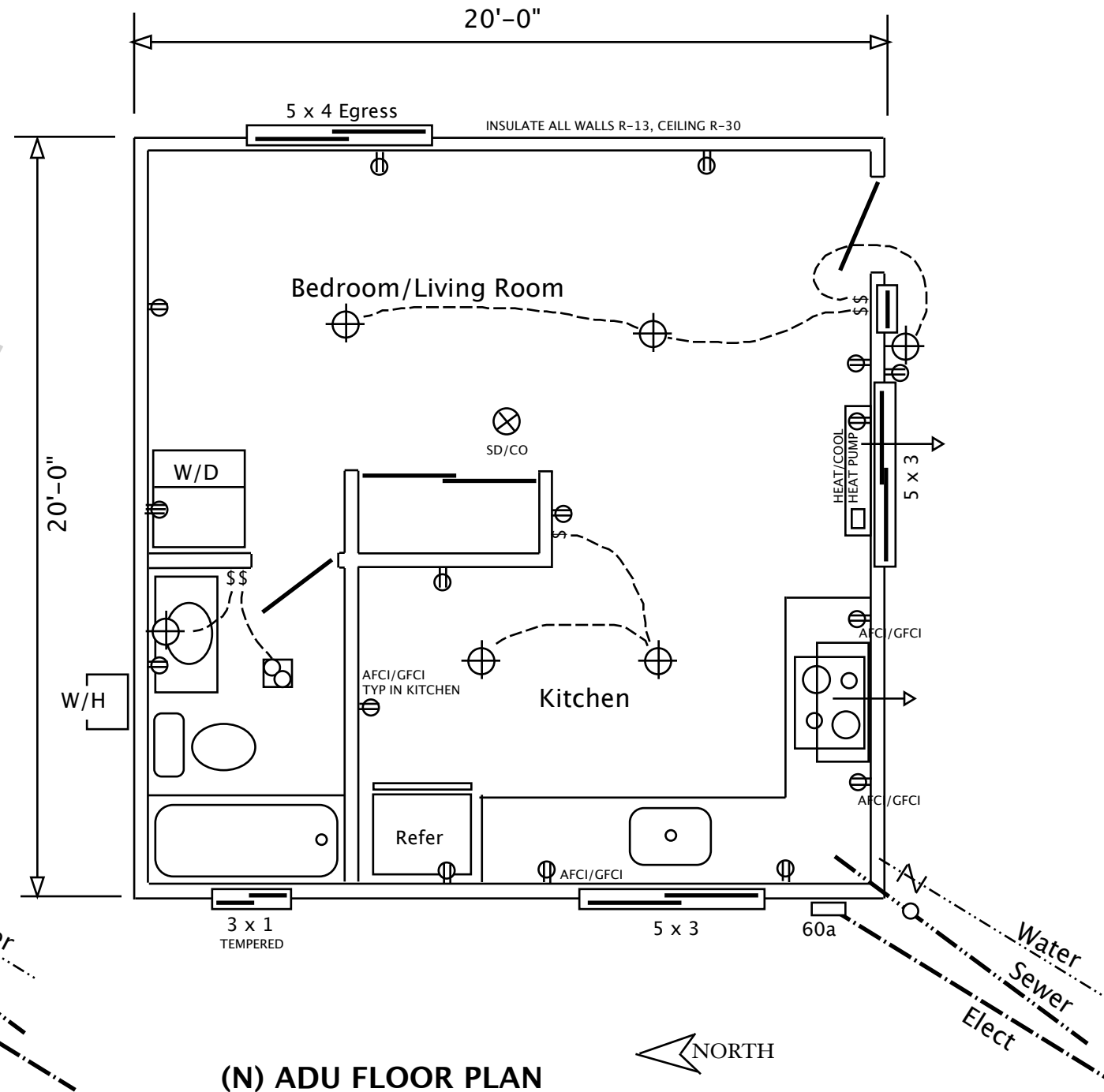
SHEET 2 OF 5

EXAMPLE



(E) GARAGE FLOOR PLAN

SCALE 1/4" = 1'-0"



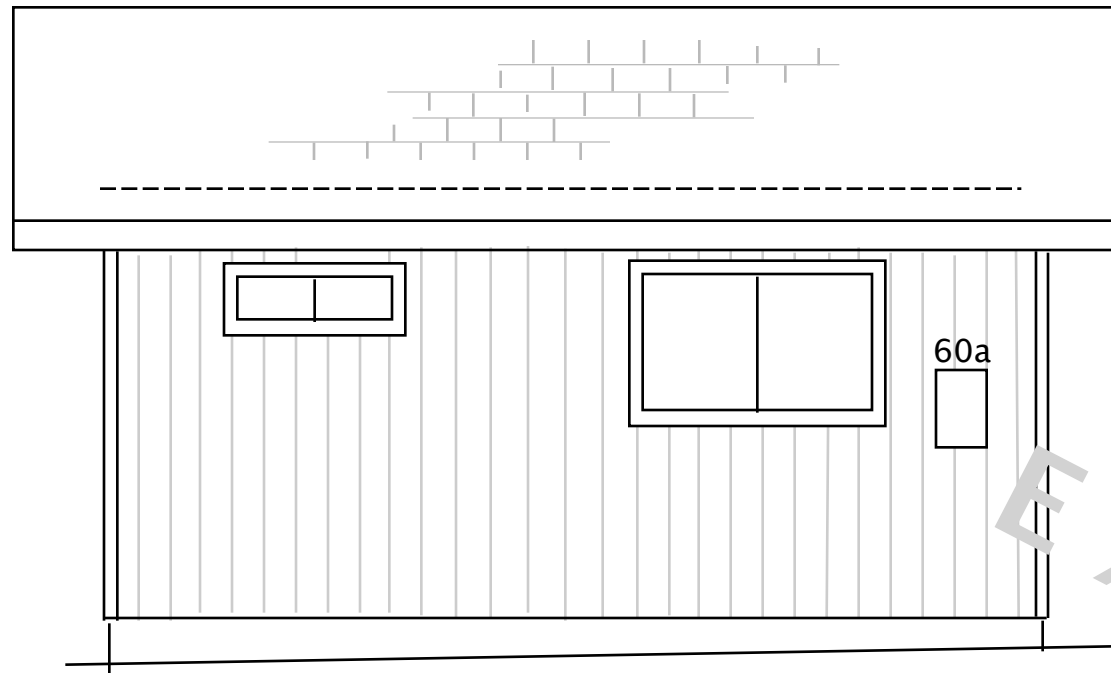
(N) ADU FLOOR PLAN

SCALE 1/4" = 1'-0"

**General Notes**

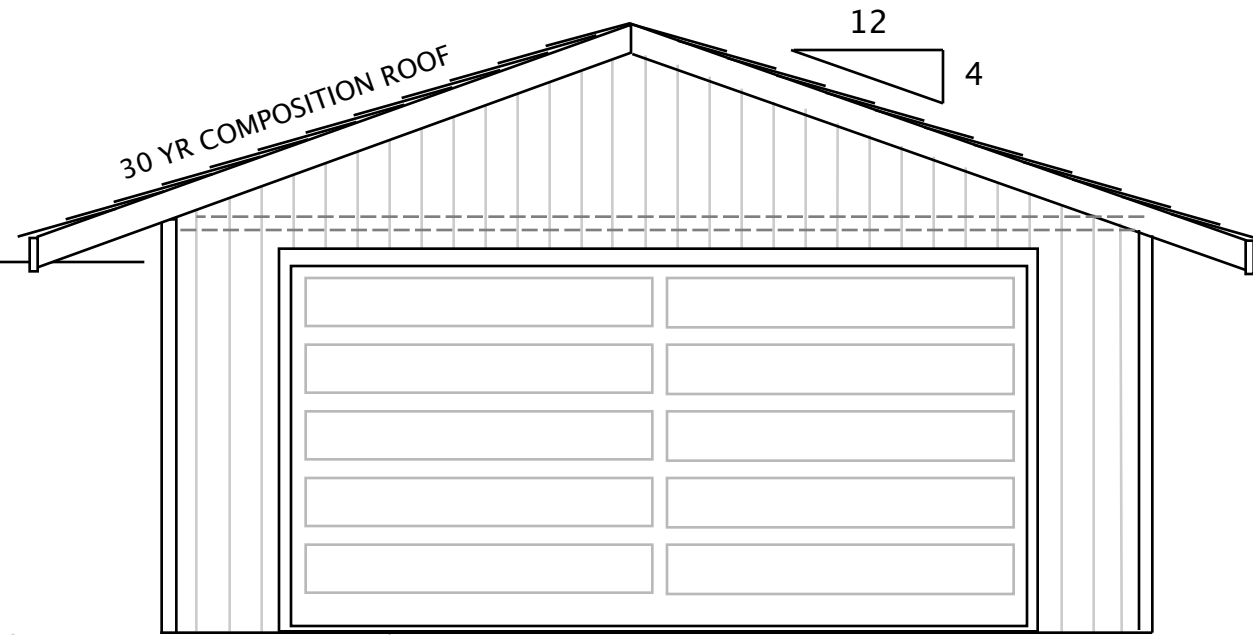
1. All fasteners less than 1/2" Dia, in contact with pressure treated lumber, shall be hot dipped galvanized or SS
2. Cooktop Exhaust duct to be sheetmetal to the exterior
3. Provide Smoke/Carbon monoxide detection
4. Insulate exterior water pipes at water heater and wrap with UV resistant tape
5. All interior walls to be 1/2" finished drywall
6. Place vinyl flooring in kitchen and bathroom, carpet in bedroom and living room

CONTRACTOR
PHONE:
LIC #:
CLASS:
EMAIL:
<input type="checkbox"/> OWNER/BUILDER
OWNER:
PHONE:
EMAIL:
JOB ADDRESS:
CAMPBELL, CA
TYPE: VB OCC: R-3
SHEET TITLE:
<b>FLOOR PLAN</b>
APN:
302 44 097
DATE:
JAN 2020
SCALE:
1/4" = 1'-0"
SHEET 3 OF 5



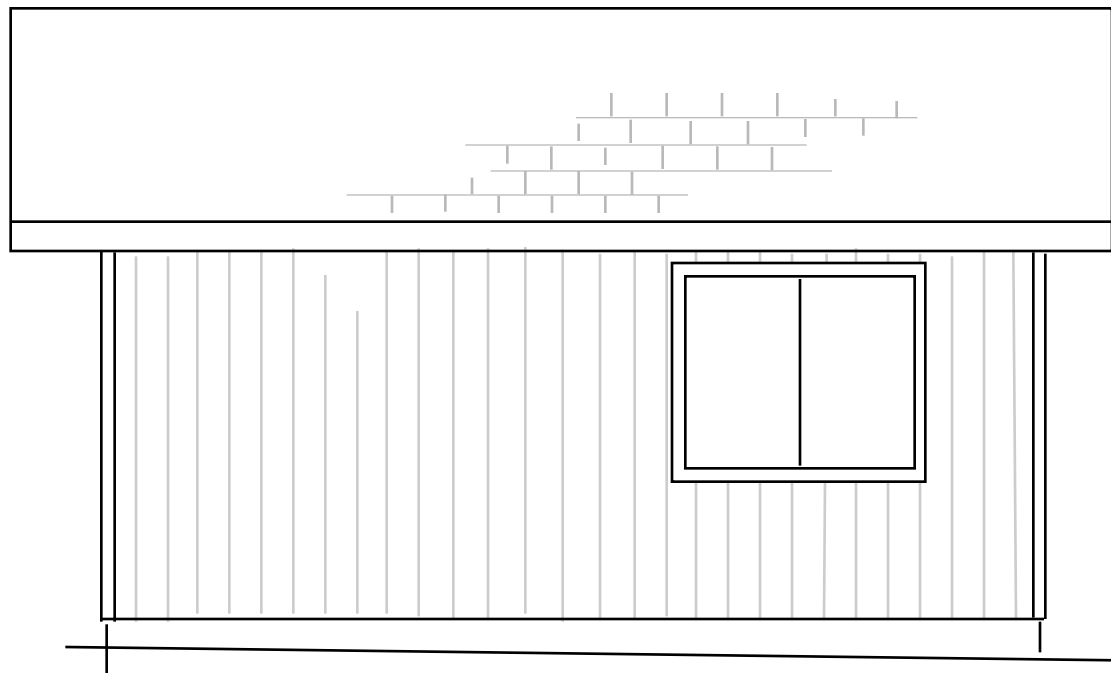
**EAST ELEVATION**

SCALE 1/4" = 1'-0"



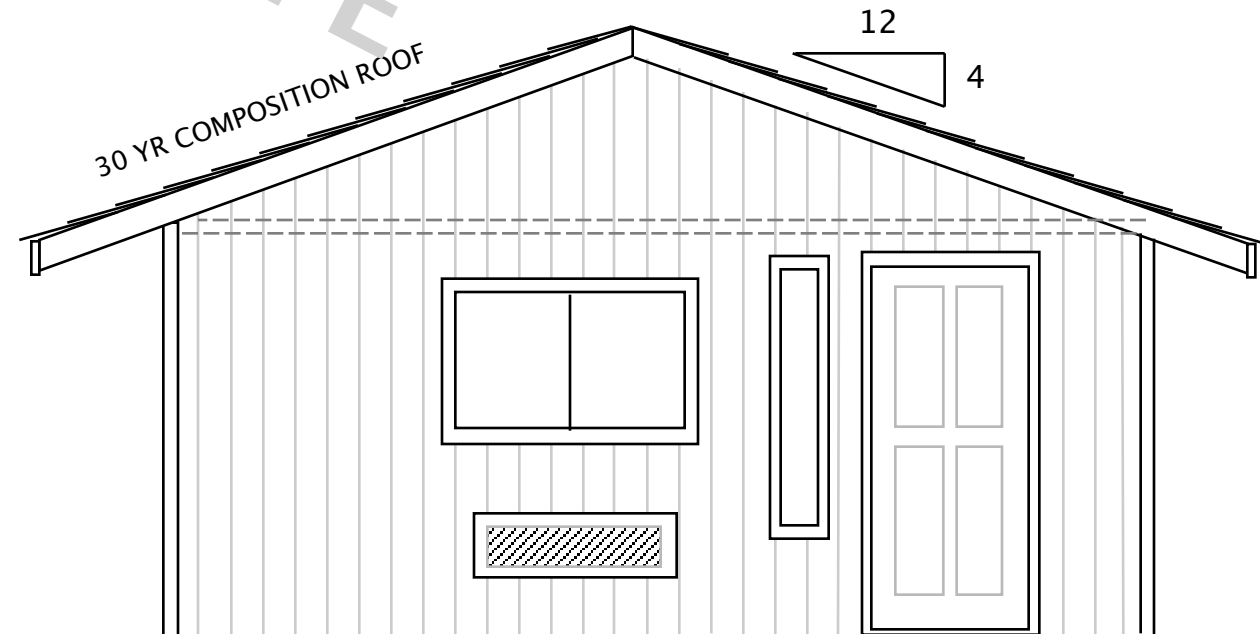
**NORTH ELEVATION (EXISTING)**

SCALE 1/4" = 1'-0"



**WEST ELEVATION**

SCALE 1/4" = 1'-0"



**NORTH ELEVATION (NEW)**

**SOUTH ELEVATION SIMILAR WITHOUT DOOR OR WINDOWS**

SCALE 1/4" = 1'-0"

CONTRACTOR

PHONE:  
LIC #:  
CLASS:  
EMAIL:

OWNER/BUILDER

OWNER:

PHONE:  
EMAIL:

JOB ADDRESS:

CAMPBELL, CA

TYPE: VB OCC: R-3

SHEET TITLE:

**ELEVATIONS**

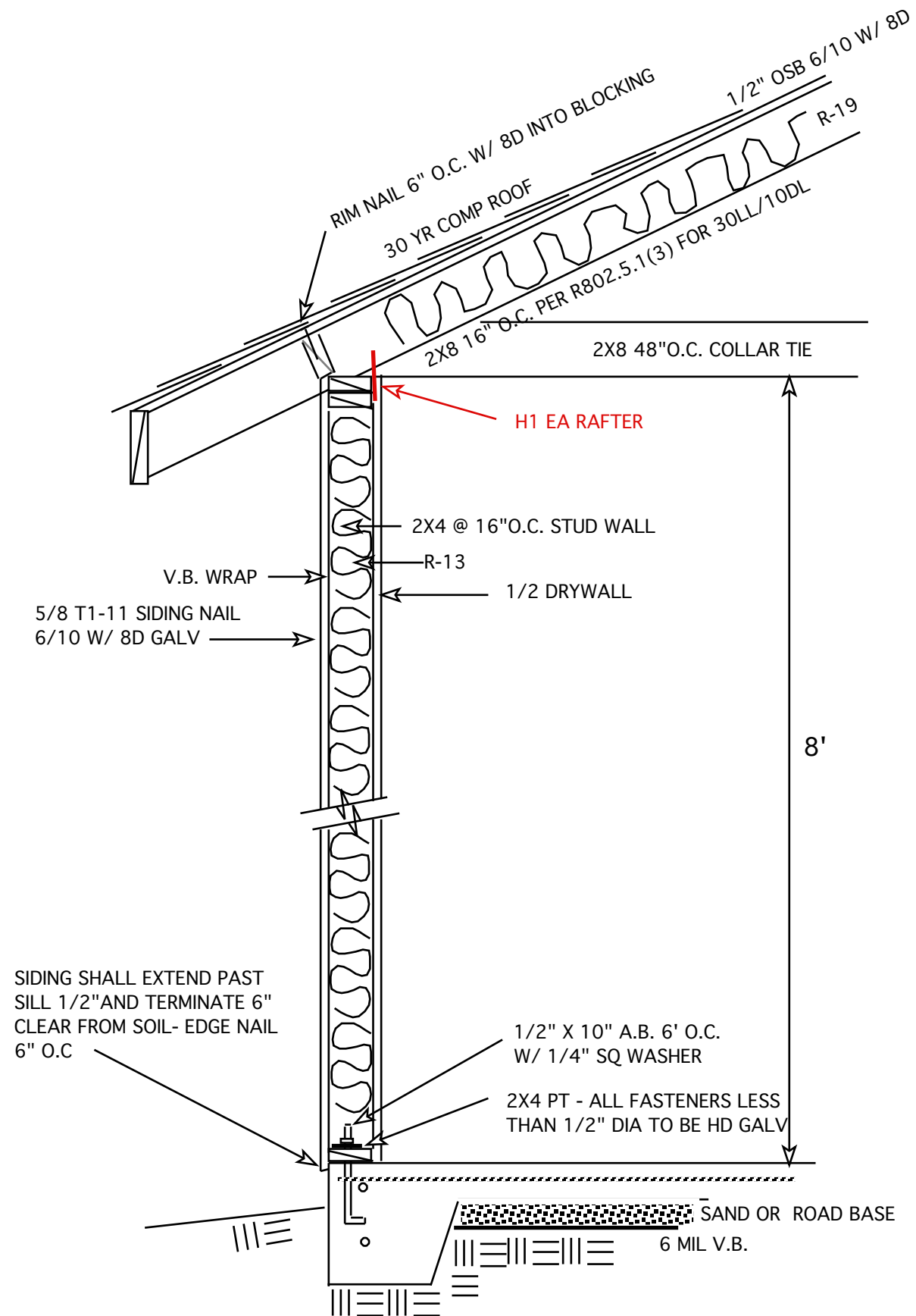
APN:  
302 44 097

DATE:  
JAN 2020

SCALE:  
1/4" = 1'-0"

**SHEET 4 OF 5**

EXAMPLE



**ROOF, WALL AND FOUNDATION SECTION**

SCALE 1/4" = 1'-0"

CONTRACTOR

PHONE:  
LIC #:  
CLASS:  
EMAIL:

OWNER/BUILDER

OWNER:

PHONE:  
EMAIL:

JOB ADDRESS:

CAMPBELL, CA

TYPE: VB OCC: R-3

SHEET TITLE:

**DETAILS**

APN:  
302 44 097

DATE:  
JAN 2020

SCALE:  
1/4" = 1'-0"

SHEET 5 OF 5