



**CITY OF CAMPBELL**  
Community Development Department

March 10, 2017

**NOTICE OF ARCHITECTURAL MODIFICATION**

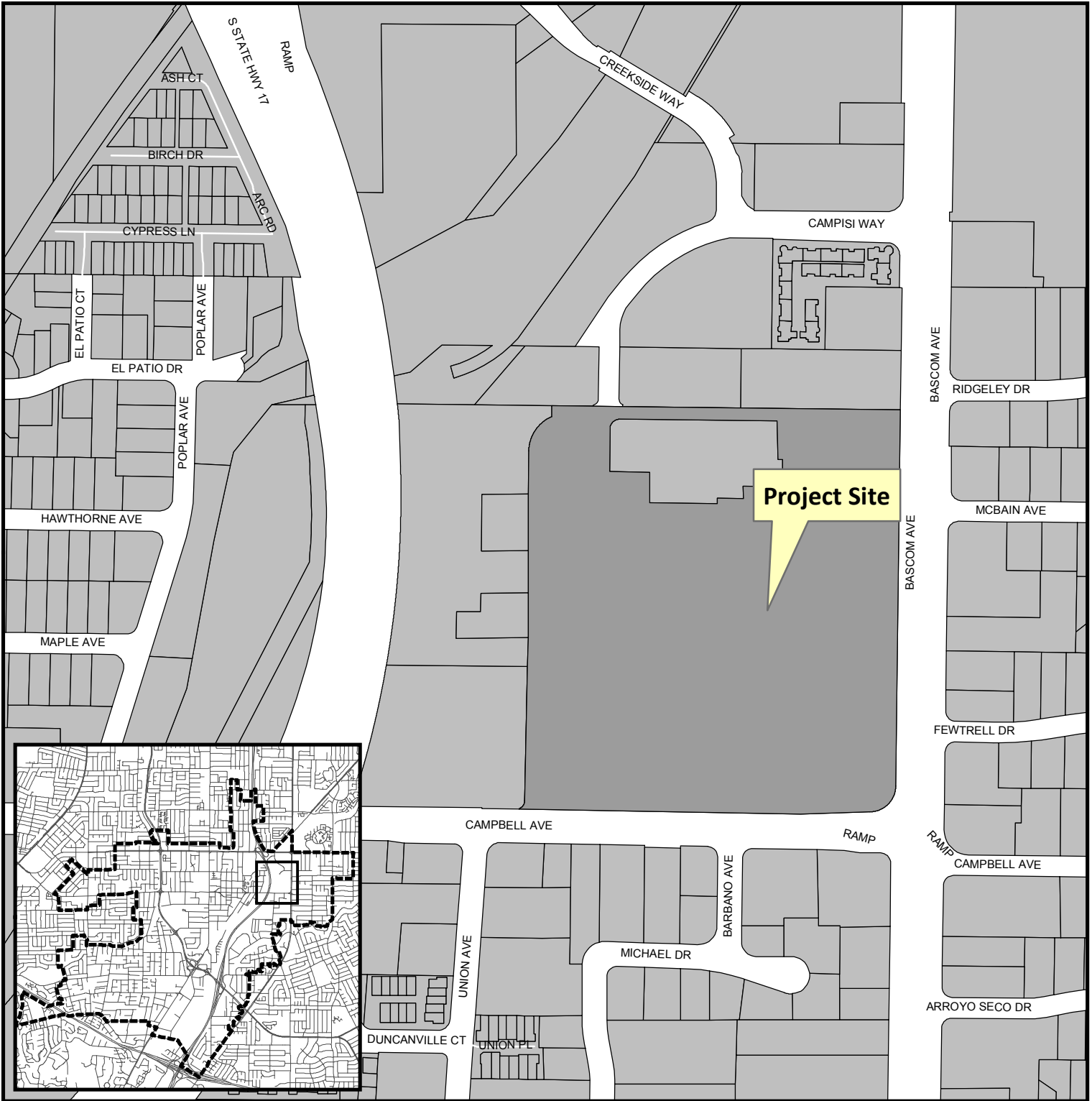
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Architectural Modification pursuant to the Pruneyard Master Use Permit for the following project proposal:

<b>File No.:</b>	<b>PLN2017-75</b>
<b>Applicant:</b>	<b>CFEP Pruneyard, LLC</b>
<b>Project Address:</b>	<b>1875 S. Bascom Ave., Ste. 400/440 (The Pruneyard Shopping Center)</b>
<b>Property Owner:</b>	<b>CFEP Pruneyard, LLC</b>
<b>Zoning District:</b>	<b>C-2-O (General Commercial / Overlay District)</b>
<b>General Plan:</b>	<b>General Commercial</b>
<b>Project Description:</b>	<b>Enclosure of a portion of existing covered walkway (arcade) in front of suites 400/440 to increase the gross square-footage of the tenant space by 494 square-feet.</b>

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 10, 2017 and ends on March 20, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 20, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email [danielf@cityofcampbell.com](mailto:danielf@cityofcampbell.com).

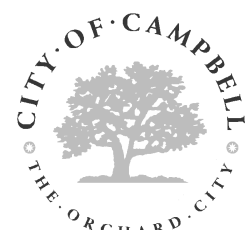
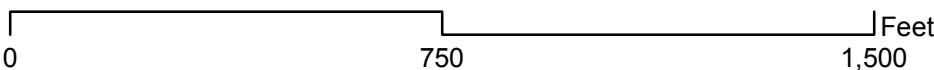
# Project Location Map



**Project Location:** 1875 S. Bascom Blvd., Ste. 400/440

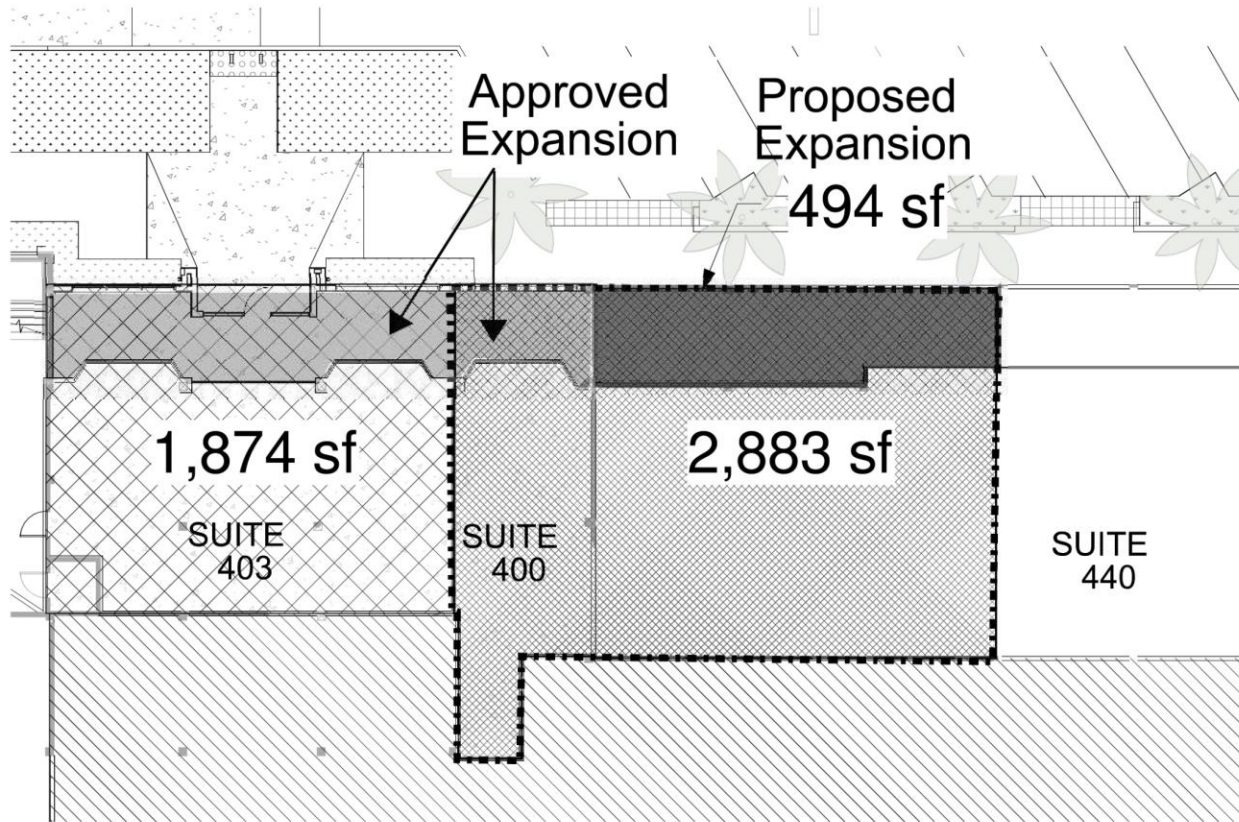
**Application Type:** Architectural Modification

**Planning File No.:** PLN2017-75



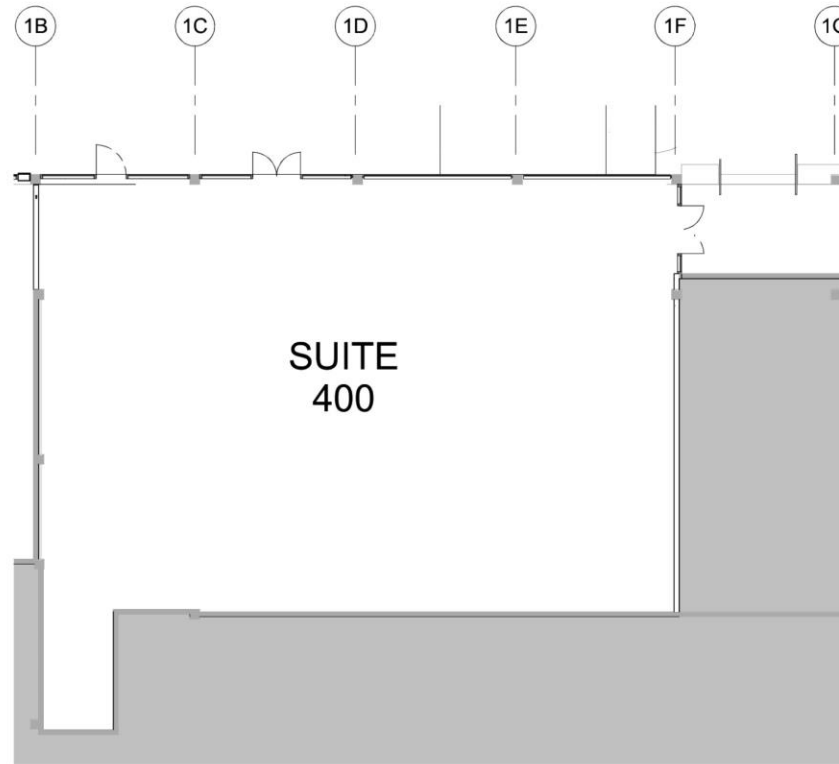
Community Development Department  
Planning Division

The Pruneyard, Phase 1 – Retail South Building  
March 7, 2017



EXPANSION AREA DIAGRAM

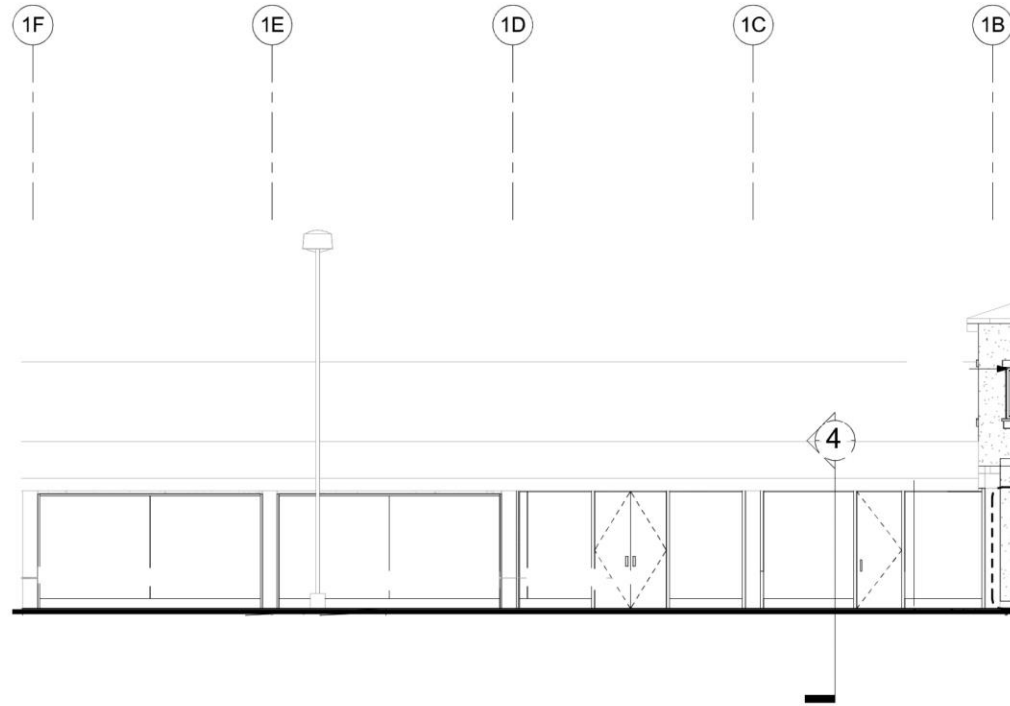
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FLOOR PLAN

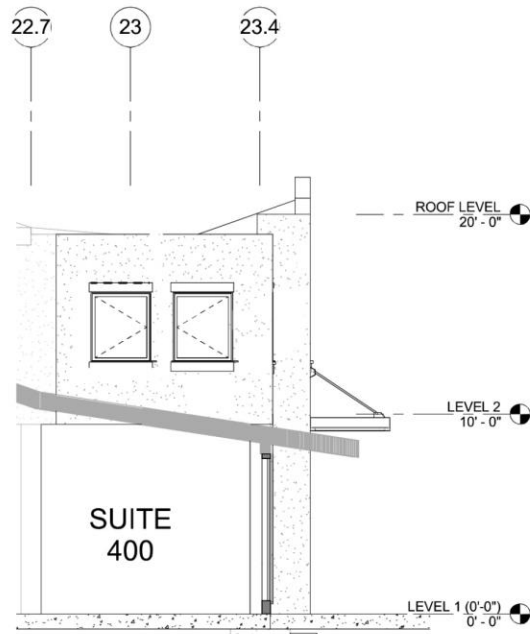
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The Pruneyard, Phase 1 – Retail South Building  
March 7, 2017



ELEVATION

# The Pruneyard, Phase 1 – Retail South Building March 7, 2017



SECTION

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